

transmittal

July 31, 2019

to: Bidders from: Mr. Richard L. Cook, Jr.
company: _____ title: Building Envelope Project Manager
address: _____ tel: 843-991-7042

subject: Addendum Number 1
USC Aiken Etherredge Roof Repairs
Owner Project Number: H29-9550
ADC Project Number: 19065

The following items are attached and include a total of **19** pages including transmittal:

ITEM #	DATE	DESCRIPTION
1.	July 31, 2019	Addendum Number 1 (1 Page)
2.	July 31, 2019	Revised SE-330, Lump Sum Bid Form, BF-1A (1 Page)
3.	July 30, 2019	Pre-Bid Sign In Sheet (1 Page)
4.	July 31, 2019	Answers / Clarifications to Questions Raised (2 Pages)
5.	July 31, 2019	Revised Section 01 20 00, Abbreviated Scope of Work, Pages 1 and 3 (2 Pages)
6.	July 31, 2019	Revised Drawings, 11 x 17 (10 Pages)
7.	July 31, 2019	Laydown Area (1 Page)

If you have any questions or comments, please do not hesitate to contact me.

delivered by:

https://sc.edu/about/offices_and_divisions/purchasing/solicitations_awards/facilities_procurements/index.php

Addendum Number 1

July 31, 2019

USC Aiken Etherredge Roof Repairs

Owner Project Number: H29-9550

Prepared by:

ADC Engineering, Inc.

1226 Yeamans Hall Road

Hanahan, South Carolina 29410

To Bidders:

This Addendum forms a part of the Contract Documents and modifies the original Procurement Documents dated June 5, 2019 as noted below. Acknowledge receipt of this Addendum in the space provided on the Bid Form. Failure to do so may subject the Bidder to disqualification.

This Addendum consists of 1 page and the attachments listed.

Changes to Prior Addenda:

1. There have been no prior addenda.

Changes to Procurement Requirements:

2. All substitution requests must be in the offices of ADC Engineering, Inc. no later than 2:30 PM on August 3, 2019 at least 10 days (240 hours) prior to the bid date (AIA SCOSE 3.3.2). No substitutions are allowed unless approved in the addendum. Requests received after this date will not be accepted.
3. All questions must also be submitted in writing to ADC Engineering, Inc. no later than 2:30 PM on August 3, 2019 at least 10 days (240 hours) prior to the bid date (AIA SCOSE 3.2.2). No questions will be answered after this date. Any questions prior to bidding shall be provided in writing to ADC Engineering. All responses will be made in the form of addenda to the bid documents.
4. Replace SE-330, Lump Sum Bid Form, page BF-1A with revised, attached SE-330, Lump Sum Bid Form, page BF-1A.
5. Attached is the pre-bid sign-in sheet.

Changes to Contracting Requirements:

6. Add the attached Answers / Clarifications to Questions Raised.

Changes to Specifications:

7. Replace Section, 01 20 00, Abbreviated Scope of Work, pages 1 and 3 with revised, attached Section, 01 20 00, Abbreviated Scope of Work, pages 1 and 3.

Changes to Drawings:

8. Replace all drawings with the revised, attached drawings.
9. See the attached aerial photo of laydown/storage/access area(s).

End of Addendum Number 1

SE-330
LUMP SUM BID FORM

§ 6.2 **BID ALTERNATES** as indicated in the Bidding Documents and generally described as follows:

ALTERNATE # 1 (Brief Description): Alternate Number 1 work includes selective roof repairs to the existing roof systems of Roof Areas A, B, C, D and E at locations noted on the drawings. 10 Calendar Days

ADD TO or **DEDUCT FROM BASE BID: \$** _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 2 (Brief Description): Alternate Number 2 work includes selective roof repairs to the existing roof systems of Roof Areas F and G at locations noted on the drawings. 10 Calendar Days

ADD TO or **DEDUCT FROM BASE BID: \$** _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

ALTERNATE # 3 (Brief Description): Alternate Number 3 work includes drain repairs at specific drain locations as noted on drawings. 10 Calendar Days

ADD TO or **DEDUCT FROM BASE BID: \$** _____

(Bidder to mark appropriate box to clearly indicate the price adjustment offered for each Alternate)

§ 6.3 **UNIT PRICES:**

BIDDER offers for the Agency's consideration and use, the following **UNIT PRICES**. The **UNIT PRICES** offered by **BIDDER** indicate the amount to be added to or deducted from the **CONTRACT SUM** for each item-unit combination. **UNIT PRICES** include all costs to the Agency, including those for materials, labor, equipment, tools of trades and labor, fees, taxes, insurance, bonding, overhead, profit, etc. The Agency reserves the right to include or not to include any of the following **UNIT PRICES** in the Contract and to negotiate the **UNIT PRICES** with **BIDDER**.

<u>No.</u>	<u>ITEM</u>	<u>UNIT OF MEASURE</u>	<u>ADD</u>	<u>DEDUCT</u>
<u>1.</u>	<u>Metal Deck Repair</u>	<u>SF</u>	<u>\$</u>	<u>\$</u>
<u>2.</u>	<u>Metal Deck Replacement</u>	<u>SF</u>	<u>\$</u>	<u>\$</u>
<u>3.</u>	<u>2 x 4</u>	<u>LF</u>	<u>\$</u>	<u>\$</u>
<u>4.</u>	<u>2 x 6</u>	<u>LF</u>	<u>\$</u>	<u>\$</u>
<u>5.</u>	<u>Roof Drain (less than 5")</u>	<u>EA</u>	<u>\$</u>	<u>\$</u>
<u>6.</u>	<u>Roof Drain (greater than 5")</u>	<u>EA</u>	<u>\$</u>	<u>\$</u>

University of South Carolina
Pre Bid Sign In Sheet
 Columbia, South Carolina

Project Name: USC Aiken Etherredge Center
Project Number: Roof Repairs
 H29-9550
Pre Bid Date & Time: July 30, 2019@10:00am
 USC Aiken Maintenance Bldg
 432 Scholar Loop

SWMBE Contractor?	Name	Company Name	Address	Phone #	Email
S W M B E	Thatcher Hurt via teleconference	USC	743 Greene St. Columbia SC 29208	803-576-5840	hurth@mailbox.sc.edu
S W M B E	Hatice Hikmet via teleconference	USC	1300 Pickens St. Columbia SC 29208	803-777-9994	hikmeth@mailbox.sc.edu
S W M B E	LISA GROFF	USC Aiken	471 Univ. Pkwy Aiken	803-617-8445	Lisag@usca.edu
S W M B E	BRINN FURBER	UIC AIKEN	" "	803-641-3254	brinnere@usca.edu
S W M B E	Rick Cook	ADC/BEE		843 991 7042	rickc@the bee group.org
S W M B E	Blake Krueger	Watts & Associates	7416 Fairfield Rd	(403) 796-4610	estimating@wattsroofing.com
S W M B E	Steve Lloyd	Lloyd Roofing	2415 Montague Ave Ft	804 223-3716	steve@lloydroofing.com
S W M B E	Buchanan Cowart	Thomson Roofing	2292 Washington Rd	206-466-1289	ctoburen@thomsonroofing.com
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****By signing this sheet you agree to receive information electronically.

Answers / Clarifications to Questions Raised

1. Where can I obtain plans and specs?

- a. https://sc.edu/about/offices_and_divisions/purchasing/solicitations_awards/facilities_procurements/index.php

2. Are unit price quantities and an allowance to be included within the Base Bid?

- a. Yes, as noted in Section 01 20 00, Abbreviated Scope of Work, both the unit price quantities as well as the listed allowance are to be included within the Base Bid. See Addendum 1.

3. Who do we contact for an additional site visit?

- a. Coordinate additional site visits with Lisa Groft at 803-641-2856.

4. Is Interior access permitted?

- a. Access to roof for personnel, equipment and materials shall be from contractor-provided 'exterior' means (ladders, scaffolds, stair tower, etc.). Interior access is limited to completing any work/review of interior conditions.

5. What access, laydown and storage is available at the site?

- a. See the attached aerial site plan.

6. How should the rock from roof be removed?

- a. The Owner would like keep the rock from the roof. Contractor can vacuum the rock from the roof and leave it on the sidewalk or parking lot and USCA will remove it from there.

7. What is the extent of sealant replacement?

- a. Extent of sealant replacement is directly related to any and all counterflashings and sheet metal work.

8. What materials/assembly exists for Roof Area H?

- a. See revised drawings, Existing Roof Plan (Addendum Number 1).

9. Is primary slope in the structure for Roof Area H?

- a. Yes, primary slope is in structure, all secondary slope (tapered insulation) is to be provided in scope. See revised Tapered Roof Plan (Addendum Number 1).

Answers / Clarifications to Questions Raised

10. In addition to items listed in the Repair Notes, what quantities are to be included within the Alternates?

a. ALT 1: 200 LF Base Flashing

50 SF Membrane

ALT 2: 100 LF Base Flashing

20 SF Membrane

ALT 3: 5 drains (located on Roof Areas A, B, C, D, E, F and/or G).

11. Do drive pins and one-piece counterflashings have to be addressed/included in base flashing repairs?

a. Yes, remove drive pins and counterflashing to complete base flashing repairs and reinstall based on quantities listed in question 10.

SECTION 01 20 00

ABBREVIATED SCOPE OF WORK

PART 1 - GENERAL

1.01 SUMMARY

- A. The building will remain completely functional during the construction work and fully protected at all times.
- B. Protect roof system from construction, traffic and work at all times.
- C. Base Bid work includes total removal of existing roofing system on Roof Area H down to the structural deck for approximately 22 squares of roof. Roof replacement includes minor deck repairs, rough carpentry, roof insulation, including taper, and a two-ply modified bitumen roof system. All associated sheet metal components and accessories are included.
- D. If applicable, Alternates may be accepted in any combination by the Owner.
 - 1. Alternate Number 1 work includes selective roof repairs to the existing roof systems of Roof Areas A, B, C, D and E at locations noted on the drawings.
 - 2. Alternate Number 2 work includes selective roof repairs to the existing roof systems of Roof Areas F and G at locations noted on the drawings.
 - 3. Alternate Number 3 work includes drain repairs at specific drain locations as noted on drawings.
- E. Adhere to all safety and security requirements and procedures of the Owner.

1.02 REFERENCES

- A. All repair work shall be in strict conformance with the Contract Requirements, any clarifications shall be in accordance with the latest edition of the below-listed standards.
 - 1. Roofing
 - a. *The NRCA Roofing and Waterproofing Manual*, Fifth Edition, published by the National Roofing Contractors Association, 2006.
 - b. *Repair Manual for Low-Slope Membrane Roof Systems*, published by the Asphalt Roofing Manufacturers Association, National Roofing Contractors Association (NRCA) and Single Ply Roofing Industry (SPRI), 2014.
 - c. *The NRCA Roofing Manual 2016 Boxed Set*, published by the National Roofing Contractors Association.

- D. Specific quantities are included in the contract documents for various items. These quantities are included in the Bid.
- E. Contractor shall provide the required Three-Year Contractor Warranty and any required Manufacturer Warranties listed.

1.05 QUANTITIES

- A. Specific quantities are listed below for this project and are to be included in the Base Bid.

<u>ITEM</u>	<u>QUANTITY</u>	<u>UNIT</u>
Metal Deck Repair	40	SF
Metal Deck Replacement	10	SF
2 x 4	50	LF
2 x 6	50	LF
Roof Drain (less than 5")	1	EA
Roof Drain (5" or greater)	1	EA

- 1. The contractor shall maintain a daily log of all quantities used based on contract requirements.
- 2. Contractor shall notify Owner in writing when 80% of contract quantity is used for each item.
- 3. Owner is not responsible for quantities which exceed 80% unless Owner is notified in writing, prior to exceeding these quantities, and contractor receives written approval to proceed.
- 4. Provide photographs or videotape documentation of actual quantities used.
- 5. Locate quantities, and show their locations on plan view drawings.
- 6. Provide actual used quantities on each Application for Payment request.

1.06 ALLOWANCE

- A. Contractor shall include an allowance of \$1,500 in addition to the current scope of work and unit price quantities.
- B. The allowance will be used to complete services not currently in the scope, only if proposal is determined to be fair and reasonable by Consultant/Engineer and Owner.
- C. If this allowance is not incorporated into the work, a credit will be provided to the Owner for the full amount.

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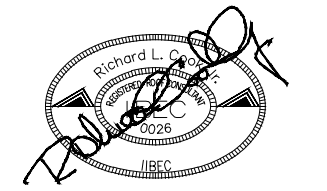
UNIVERSITY OF SOUTH CAROLINA AIKEN

USC AIKEN ETHEREDGE

ROOF REPAIRS

OWNER PROJECT NUMBER: H29-9550
 ADC PROJECT NUMBER: 19065
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA

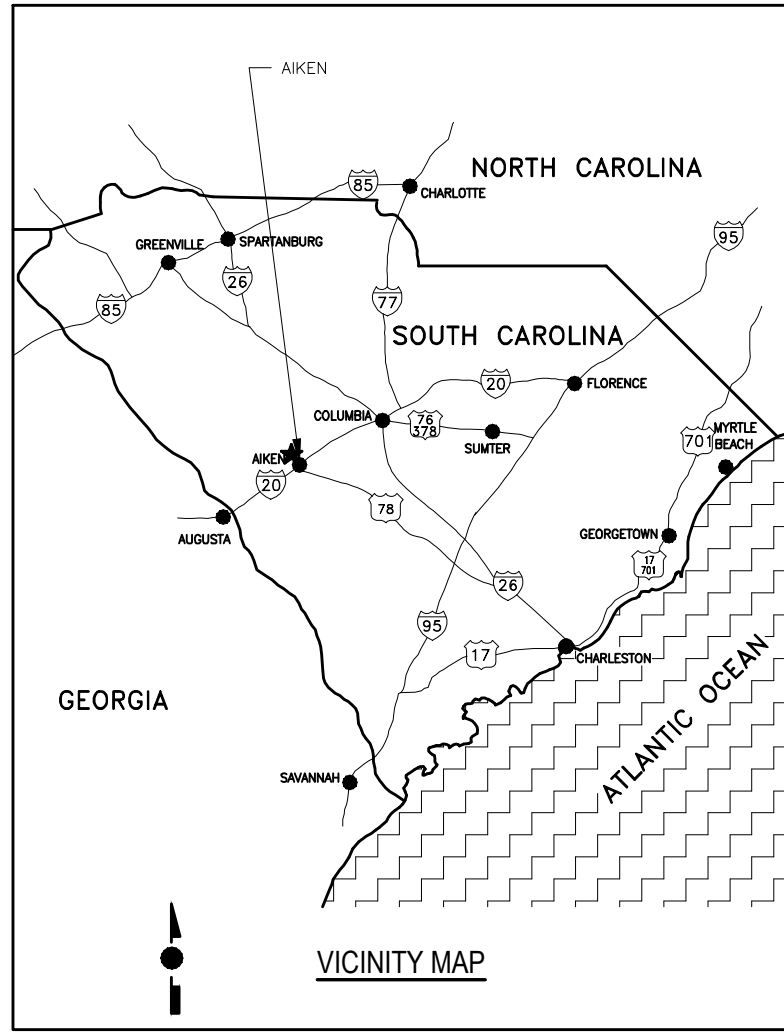
UNIVERSITY OF SOUTH CAROLINA-AIKEN
 USC AIKEN ETHEREDGE
 ROOF REPAIRS
 OWNER PROJECT NUMBER: H29-9550
 ADC PROJECT NUMBER: 19065
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA



DATE:	05/15/2019
ADC PROJECT #:	19065
DESIGNED:	RLC
CHECKED:	DAA
DRAWN:	IPO
REVISION:	07/31/2019

COVER SHEET

R100
 SHEET 1 OF 10



LEGEND	ABBREVIATIONS
<ul style="list-style-type: none"> XX ROOF AREA SYMBOL VTR VENT THRU ROOF RD ROOF DRAIN OF OVERFLOW DRAIN OF OVERFLOW PIPE DRAIN SP SPLASH PAN ROOF CURB ROOF HATCH VENTILATOR METAL ROOF PARAPET WALL DS DOWNSPOUT LEAKS NOTED 	<ul style="list-style-type: none"> A ABANDONED ANSI AMERICAN NATIONAL STANDARDS INSTITUTE BIA BRICK INDUSTRY ASSOCIATION DS DOWNSPOUT EPDM SINGLE PLY ETC ET CETERA HVAC HEAT/VENTILATION/AIR CONDITION LB POUND MAX MAXIMUM MIN MINIMUM N.I.C. NOT IN CONTRACT NRCA NATIONAL ROOFING CONTRACTORS ASSOCIATION O.C. ON CENTER OSHA OCCUPATIONAL SAFETY AND HEALTH ASSOCIATION PVC POLYVINYLCHLORIDE RD ROOF DRAIN SMACNA SHEET METAL AND AIR CONDITIONING CONTRACTORS ASSOCIATION, INC. SWRI SEALANT WATERPROOFING RESTORATION INSTITUTE TYP TYPICAL VTR VENT THRU ROOF W/ WITH
	DETAILS/SECTION IDENTIFIER 1 ← DETAIL/SECTION LABEL R201 ← SHEET SHOWN ON
	DRAWING INDEX R100 COVER SHEET R101 GENERAL NOTES R102 AERIAL PLAN R103 EXISTING / NEW ROOF PLAN R104 TAPER ROOF PLAN R105 REPAIR ROOF PLAN R106 REPAIR ROOF PLAN R200 REPLACE DETAILS / SECTIONS R300 REPAIR DETAILS / SECTIONS R301 REPAIR DETAILS / SECTIONS

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SCOPE OF WORK

- A. THE BUILDING WILL REMAIN COMPLETELY FUNCTIONAL DURING THE CONSTRUCTION WORK AND FULLY PROTECTED AT ALL TIMES.
- B. PROTECT ROOF SYSTEM FROM CONSTRUCTION, TRAFFIC AND WORK AT ALL TIMES.
- C. BASE BID WORK INCLUDES TOTAL REMOVAL OF EXISTING ROOFING SYSTEM ON ROOF AREA H DOWN TO THE STRUCTURAL DECK FOR APPROXIMATELY 22 SQUARES OF ROOF. ROOF REPLACEMENT INCLUDES MINOR DECK REPAIRS, ROUGH CARPENTRY, ROOF INSULATION, INCLUDING TAPER, AND A TWO-PLY MODIFIED BITUMEN ROOF SYSTEM. ALL ASSOCIATED SHEET METAL COMPONENTS AND ACCESSORIES ARE INCLUDED.
- D. IF APPLICABLE, ALTERNATES MAY BE ACCEPTED IN ANY COMBINATION BY THE OWNER.
 - 1. ALTERNATE NUMBER 1 WORK INCLUDES SELECTIVE ROOF REPAIRS TO THE EXISTING ROOF SYSTEMS OF ROOF AREAS A, B, C, D AND E AT LOCATIONS NOTED ON THE DRAWINGS.
 - 2. ALTERNATE NUMBER 2 WORK INCLUDES SELECTIVE ROOF REPAIRS TO THE EXISTING ROOF SYSTEMS OF ROOF AREAS F AND G AT LOCATIONS NOTED ON THE DRAWINGS.
 - 3. ALTERNATE NUMBER 3 WORK INCLUDES DRAIN REPAIRS AT SPECIFIC DRAIN LOCATIONS AS NOTED ON DRAWINGS.
- E. ADHERE TO ALL SAFETY AND SECURITY REQUIREMENTS AND PROCEDURES OF THE OWNER.

UNIT PRICE QUANTITIES

- 1. IN ACCORDANCE WITH SECTION 01 20 00, ABBREVIATED SCOPE OF WORK, THE CONTRACT DOCUMENTS INCLUDE WITHIN THE BASE BID SPECIFIC QUANTITIES.
- 2. THE SPECIFIC QUANTITIES ARE LISTED WITHIN THE INDIVIDUAL SPECIFICATION SECTIONS OF THIS PROJECT AND ARE INCLUDED ON THE BID FORM AS NOTED.
A SINGLE UNIT PRICE WILL BE PROVIDED FOR EACH ITEM, TO BE USED AS AN 'ADD' OR 'DEDUCT', BASED ON ACTUAL FIELD CONDITIONS. ANY QUANTITY ABOVE OR BELOW THESE SPECIFIED AMOUNTS WILL RESULT IN AN 'ADD' OR 'DEDUCT' TO THE CONTRACT SUM BASED ON THE REQUIRED UNIT PRICES.
- 3. IN ACCORDANCE WITH SECTION 01 20 00, UNIT PRICES QUANTITIES, THE FOLLOWING DOCUMENTATION IS REQUIRED.
 - A. THE CONTRACTOR SHALL MAINTAIN A LOG OF ALL REPAIR UNIT PRICED QUANTITIES USED BASED ON CONTRACT REQUIREMENTS.
 - B. CONTRACTOR SHALL NOTIFY OWNER IN WRITING WHEN 80% OF QUANTITY IS USED FOR EACH UNIT PRICE ITEM.
 - C. OWNER IS NOT RESPONSIBLE FOR QUANTITIES WHICH EXCEED 80% UNLESS OWNER IS NOTIFIED IN WRITING PRIOR TO EXCEEDING THESE QUANTITIES, AND CONTRACTOR RECEIVES APPROVAL TO PROCEED.
 - D. PROVIDE PHOTOGRAPH OR VIDEOTAPE DOCUMENTATION OF REPAIRS AND ACTUAL QUANTITIES USED.
 - E. LOCATE QUANTITIES AND SHOW THEIR LOCATIONS ON DRAWINGS.
 - F. PROVIDE ACTUAL USED QUANTITIES ON EACH APPLICATION FOR PAYMENT REQUEST.

GENERAL NOTES

- 1. PRIOR TO PERFORMING WORK, CONTRACTOR SHALL INSPECT SURFACES AND SUBSTRATE CONDITIONS. PROVIDE FOR THE SAFETY AND PROTECTION OF WORKERS AND OCCUPANTS THROUGHOUT THE COURSE OF WORK.
- 2. ALL BUILDING DIMENSIONS, EXISTING CONDITIONS, ITEM LOCATIONS, AND SIZE AND QUANTITY OF PENETRATIONS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO BID.
- 3. LAYDOWN / STORAGE AREA IS LIMITED AND SHALL BE AS APPROVED BY THE OWNER.
- 4. SITE SHALL BE CLEANED ON A DAILY BASIS AND SECURED AT THE END OF EACH WORK DAY.
- 5. BUILDING ACCESS SHALL BE COORDINATED WITH THE OWNER AND SHALL BE ONLY AS REQUIRED TO ACCOMPLISH CONTRACT WORK.
- 6. ALL ACCESS EQUIPMENT SHALL ADHERE TO ALL SAFETY STANDARDS AND ANY MODIFICATIONS TO THE FACILITY FOR THOSE ITEMS, SHALL BE RETURNED TO THEIR ORIGINAL CONDITION.
- 7. ALL ACCESS/EQUIPMENT SHALL BE SECURED AT THE END OF EACH WORK DAY.

DEMOLITION NOTES

- 1. SEE SECTION 02 05 00, THE DEMOLITION AND REMOVAL OF THE SPECIFICATIONS.
- 2. REMOVE ALL EXISTING WORK / MATERIAL IN THEIR ENTIRETY DOWN TO THE ORIGINAL SUBSTRATES WITHIN THE SCOPE OF THIS WORK TO PERMIT COMPLETION OF ALL REPAIRS AND REPLACEMENTS.
- 3. REMOVE ALL MATERIALS, FLASHINGS AND ACCESSORIES AS NOTED, SPECIFIED OR REQUIRED TO COMPLETE THE WORK. ALL NEW SHEET METAL REQUIRED UNLESS OTHERWISE INDICATED.
- 4. THE UNDERSIDE (INTERIOR SIDE) OF THE SUBSTRATE MAY HAVE HVAC, ELECTRICAL FIXTURES, ETC. ATTACHED. THE CONTRACTOR SHALL HAVE QUALIFIED CRAFTSMEN REMOVE AND REINSTALL ALL AFFECTED ITEMS OF THE DEMOLITION. THE LOCATION AND METHOD OF ATTACHMENT SHALL BE THE SAME AS THE ORIGINAL, UNLESS DIRECTED OR APPROVED OTHERWISE BY THE CONSULTANT / ENGINEER AND THE OWNER.
- 5. DISCONNECT AND REMOVE ALL MECHANICAL AND ELECTRICAL EQUIPMENT AS NECESSARY TO EFFECT WORK IN THE AREAS AND REINSTALL UPON COMPLETION OF WORK IN THE AREA TO MINIMIZE DOWN TIME. PROVIDE FOR EXTENSION AND MODIFICATION OF SERVICE, UTILITIES, INTERIOR COMPONENTS, AND ALL CONNECTIONS AS NECESSARY TO ACCOMMODATE NEW THICKNESS HEIGHTS AND LOCATIONS.
- 6. ANY CABLES, WIRES, SATELLITE OR MICROWAVE DISHES, ANTENNAS, AND MECHANICAL, ELECTRICAL COMPONENTS SHALL BE TEMPORARILY DISCONNECTED AND RECONNECTED BY QUALIFIED CRAFTSMEN. THIS INCLUDES ROOF AREAS, WALLS, FLASHINGS AND ADJACENT WALL AREAS.
- 7. ALL DEMOLITION SHALL ADHERE TO ANSI AND OSHA GUIDELINES, AND SECTION 01 20 00.
- 8. ANY LOCATIONS / CONDITIONS WHERE THE ABOVE REQUIREMENTS CANNOT BE MET, SHALL BE BROUGHT TO THE ATTENTION OF THE CONSULTANT / ENGINEER AND OWNER IMMEDIATELY.

PROTECTION NOTES

- 1. FACILITIES MAY BE OCCUPIED DURING CONSTRUCTION. CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONS TO PROTECT THE FACILITY, CONTENTS, AND OCCUPANTS.
- 2. THE BUILDING SHALL BE WATERTIGHT AT THE END OF EACH DAY'S WORK AND WHEN INCLEMENT WEATHER THREATENS.
- 3. CONTRACTOR SHALL PROTECT THE BUILDING EXTERIOR AND GROUNDS INCLUDING SURFACES, GRASS, PLANTS, TREES, SHRUBS, AND OTHER LANDSCAPING. THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS TO ORIGINAL OR BETTER CONDITION.
- 4. ANY SURFACES STAINED, MARRED, OR DAMAGED BY THE WORK OF THE CONTRACTOR, THE CONTRACTOR SHALL RETURN THE SITE AND ANY DAMAGED ITEMS OF THE SITE OR FACILITY TO ORIGINAL OR BETTER CONDITION AND MATCH ADJACENT SURFACES.
- 5. APPLICATIONS / INSTALLATIONS WHICH MAY AFFECT ADJACENT FACILITIES, CARS OR PEDESTRIANS MUST BE PLANNED AND COORDINATED TO ENSURE NO DAMAGE OCCURS.

CONSTRUCTION NOTES

- 1. SUBSTRATE SHALL BE INSPECTED AND REPAIRED AS SPECIFIED PRIOR TO SYSTEM INSTALLATION.
- 2. ALL REPAIR WORK SHALL BE IN STRICT CONFORMANCE WITH THE CONTRACT REQUIREMENTS, ANY CLARIFICATIONS SHALL BE IN ACCORDANCE WITH THE LATEST ADDITION OF THE BELOW STANDARDS:
 - A. SHEET METAL:
 - a. SMACNA ARCHITECTURAL SHEET METAL MANUAL, 7TH EDITION, 2012
 - b. ARCHITECTURAL SHEET METAL INSPECTION GUIDE, 1ST EDITION, 2004
 - c. ARCHITECTURAL SHEET METAL QUALITY ASSURANCE GUIDE, 1ST EDITION, 2015.
 - B. NRCA:
 - a. THE NRCA ROOFING AND WATERPROOFING MANUAL, FIFTH EDITION, 2001
 - b. ARCHITECTURAL SHEET METAL AND METAL ROOFING, FIFTH EDITION, 2001
 - C. SEALANTS:
 - SEALANTS, THE PROFESSIONALS GUIDE
 - SWRI, 2013
- 3. ALL FLASHING TERMINATIONS SHALL HAVE CONFORMING WATERTIGHT SHEET METAL CLOSURES, AND WATERPROOF UNDERLAYMENT ALL SHEETMETAL BELOW W/ SEALED LAPS.
- 4. SPECIFIC AND TYPICAL DETAILS ARE PROVIDED W/ GENERIC TYPE DECK SHOWN. TYPICAL DETAILS APPLY TO ALL INSTANCES WHERE SIMILAR CONDITION OCCURS.
- 5. ALL WORK SHALL BE CONDUCTED IN A SUBSTANTIAL WORKMANLIKE MANNER IN ACCORDANCE WITH SPECIFIED REQUIREMENTS.

IBC/CODE ANALYSIS

- 1. IBC 2015, CHAPTER 15, ROOF ASSEMBLIES AND ROOF TOP STRUCTURES
- 2. IEBC 2015

UNIVERSITY OF SOUTH CAROLINA-AIKEN

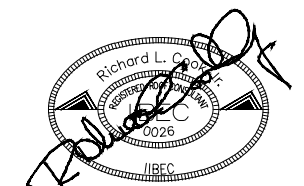
USC AIKEN ETHERREDE
ROOF REPAIRS

OWNER PROJECT NUMBER: H29-9550
ADC PROJECT NUMBER: 19060

340 SCHOLAR LOOP
AIKEN, SOUTH CAROLINA



1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410



DATE:	05/15/2019
ADC PROJECT #:	19065
DESIGNED:	RLC
CHECKED:	DAA
DRAWN:	IPO
REVISION:	07/31/2019

GENERAL NOTES

R101

SHEET 2 OF 10

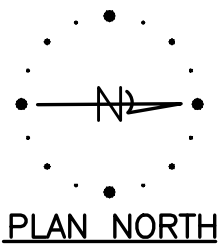
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ALTERNATE 1
(ROOF REPAIRS)



BASE BID
(ROOF REPLACEMENT)

ALTERNATE 2
(ROOF REPAIRS)



NOTES:

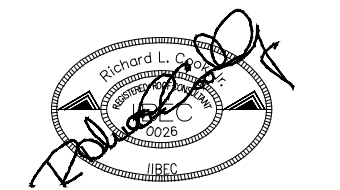
1. ALTERNATE 3 SPECIFIC DRAINS (5) ROOF DRAIN REPAIRS FOR AREAS A, B, C, D, E.
2. SEE PLAN (R105 & R106) FOR SPECIFIC LOCATIONS OF REPAIRS REQUIRED PER ALTERNATES.

AERIAL PLAN

UNIVERSITY OF SOUTH CAROLINA-AIKEN
**USC AIKEN ETHERREDE
 ROOF REPAIRS**
 OWNER PROJECT NUMBER: H29-9550
 ADC PROJECT NUMBER: 19065
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA

ADC
ENGINEERING
 1226 YEAMANS HALL ROAD
 HANAHAN, SC 29410
ADCENGINEERING.COM

The **BUILDING ENVELOPE ENCLOSURE** Group
 1226 YEAMANS HALL ROAD, STE C
 HANAHAN, SC 29410

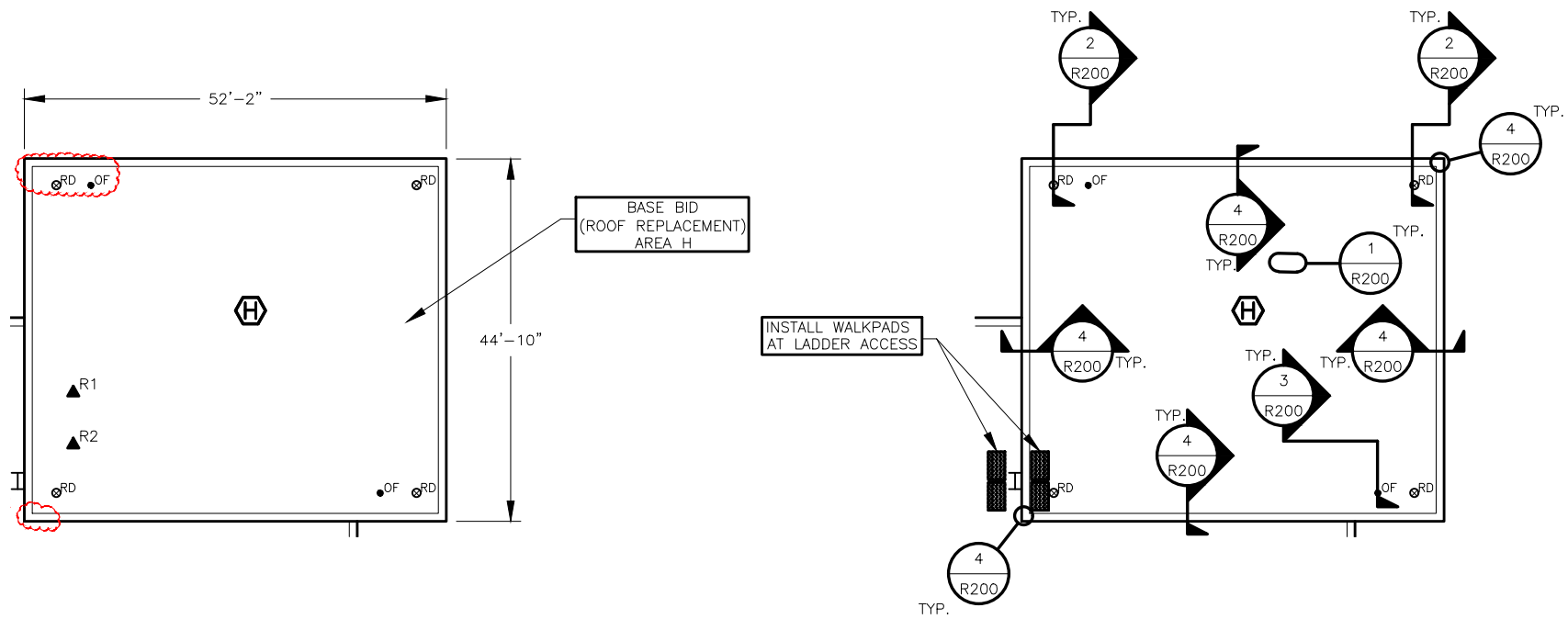


DATE:	05/15/2019
ADC PROJECT #:	19065
DESIGNED:	RLC
CHECKED:	DAA
DRAWN:	IPO
REVISION:	07/31/2019

AERIAL PLAN

R102
SHEET 3 OF 10

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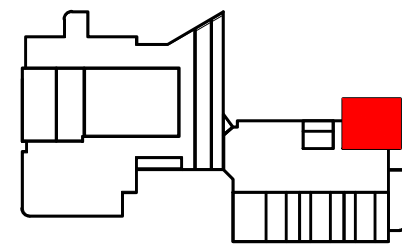


CORE SAMPLE SUMMARY

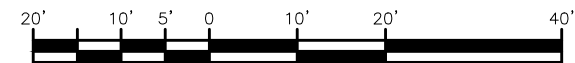
- A. CORE SAMPLE SUMMARIES ARE PROVIDED AS GENERAL INFORMATION ONLY. IT IS THE CONTRACTORS' SOLE RESPONSIBILITY TO COLLECT THE NECESSARY FIELD DATA TO PREPARE THEIR BID.
- B. LOCATIONS OF THESE CORES ARE SHOWN ON THE EXISTING ROOF PLAN.

ITEM	DESCRIPTION		DESCRIPTION
R1-	BALLASTED EPDM 1.5" EXTRUDED POLYSTYRENE 1.5" EXTRUDED POLYSTYRENE .5" GYPSUM BOARD METAL DECK	R2-	BALLASTED EPDM 1.5" EXTRUDED POLYSTYRENE 1.5" EXTRUDED POLYSTYRENE .5" GYPSUM BOARD METAL DECK

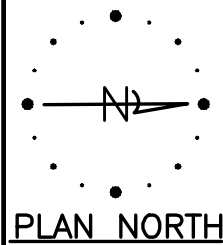
**EXISTING / NEW ROOF PLAN
(AREA H)**



KEY PLAN



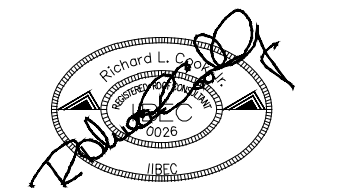
GRAPHIC SCALE



UNIVERSITY OF SOUTH CAROLINA-AIKEN
**USC AIKEN ETHERREDE
 ROOF REPAIRS**
 OWNER PROJECT NUMBER: H29-9550
 ADC PROJECT NUMBER: 19065
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA

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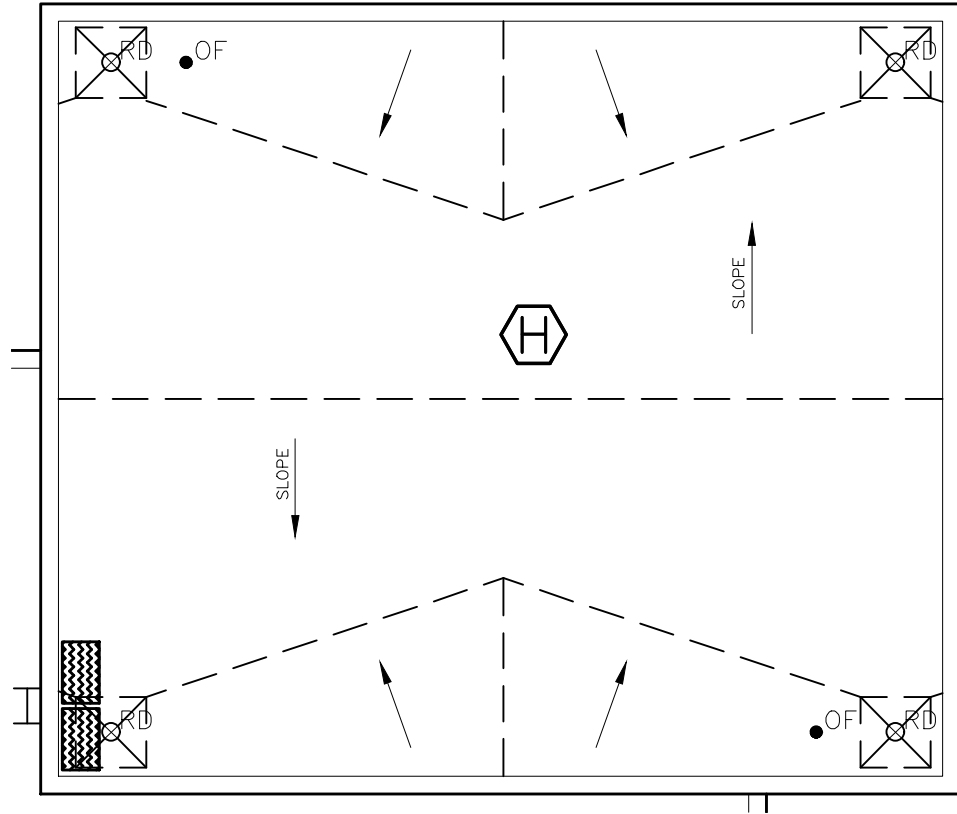
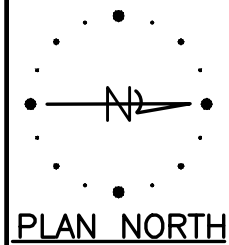


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ADC PROJECT #:	19065
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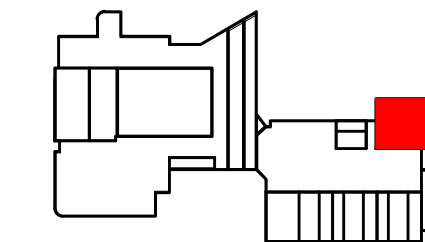
EXISTING / NEW
 ROOF PLAN

R103
 SHEET 4 OF 10

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TAPER ROOF PLAN
(AREA H)



KEY PLAN



GRAPHIC SCALE

TAPERED INSULATION NOTES

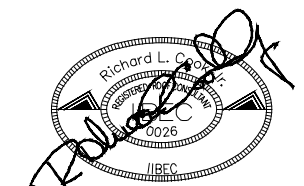
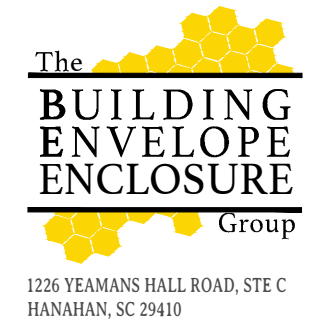
1. THE PRIMARY SLOPE IS IN THE EXISTING DECK, EXCEPT AS NOTED OTHERWISE WHERE 2x PRIMARY SLOPE SHALL BE PROVIDED.
2. SECONDARY SLOPE (CRICKETS, SADDLES, SUMPS) SHALL PROVIDE A MINIMUM AS SPECIFIED.
 - A. SECONDARY SLOPE SHALL BE 1/4" INCH PER FOOT, AND PROVIDE POSITIVE DRAINAGE.
3. BACK SLOPES SHALL BE 2X THE PRIMARY SLOPE.
4. INSULATION THICKNESSES SHALL BE COORDINATED WITH AND MATCH NAILER THICKNESSES AND ADJACENT INSULATION THICKNESSES WITHIN A 1/4" TOLERANCE IN ALL DIRECTIONS.
5. ALL PENETRATIONS AND TERMINATIONS SHALL BE RAISED TO PROVIDE A MINIMUM 8" BASE FLASHING HEIGHT ABOVE THE FINISHED ROOF CONSIDERING TOTAL INSULATION HEIGHT INCLUDING TAPER, EXCEPT AT OVERFLOW PIPE LOCATIONS WHERE HEIGHT IS TO REMAIN UNCHANGED.
 - A. PROVIDE A TAPERED CRICKET ON THE HIGH SIDE OF ALL NON-ROUND PENETRATIONS WIDER THAN 24".
7. AT DRAINAGE LOCATIONS ENSURE INSULATION TAPERS UP FROM DRAIN A MINIMUM 1/4":1' AND A MAXIMUM 1":1'. PROVIDE TAPERED FILLER TO MATCH FIELD INSULATION THICKNESSES.
 - A. TAPERED SUMPS SHALL BE 4' X 4', UNLESS AN OVERSIZED TAPERED SUMP IS NOTED ON THE TAPERED ROOF PLANS.
 - B. DRAINS SHALL BE RAISED/SET BASED ON INSULATION THICKNESSES.

UNIVERSITY OF SOUTH CAROLINA-AIKEN

USC AIKEN ETHERREDE
ROOF REPAIRS

OWNER PROJECT NUMBER: H29-9550
ADC PROJECT NUMBER: 19065

340 SCHOLAR LOOP
AIKEN, SOUTH CAROLINA



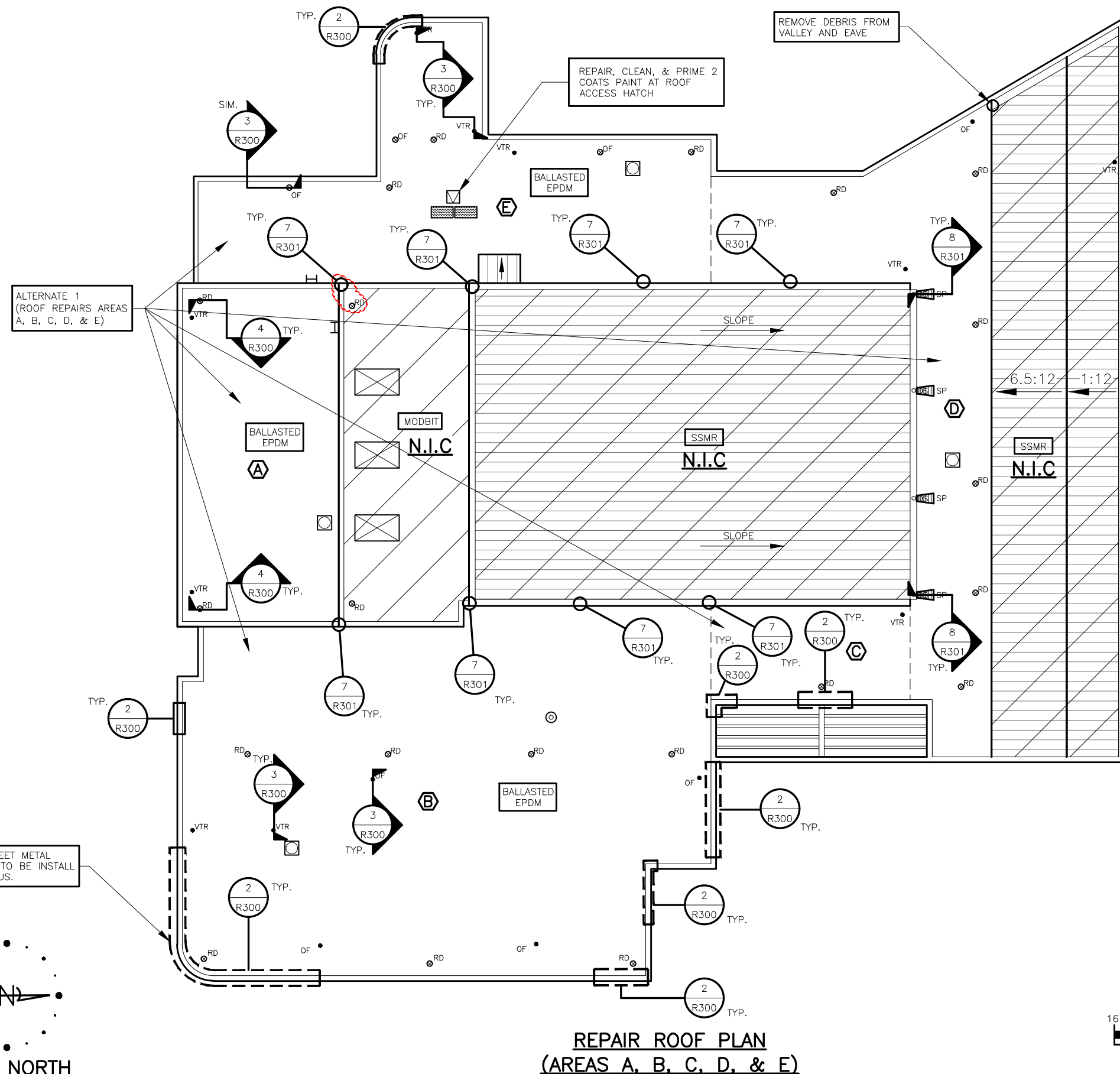
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ADC PROJECT #:	19065
DESIGNED:	RLC
CHECKED:	DAA
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TAPER
ROOF PLAN

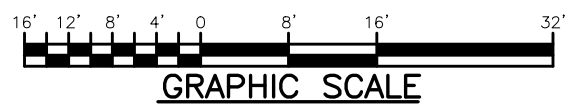
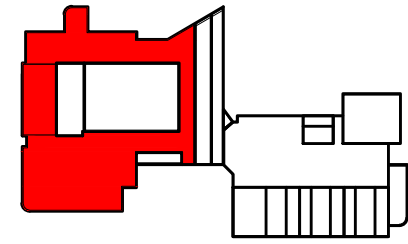
R104

SHEET 5 OF 10

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1. ALL DEBRIS/VEGETATION/EXCESS MATERIAL, ETC. TO BE REMOVED FROM ALL ROOF AREAS ALONG WITH REMOVAL OF DEBRIS FROM ROOF DRAINS, GUTTER SYSTEMS, ETC. AT ROOF CURBS, AT STACKS, AND CORNER LOCATIONS.
2. ALL LOOSE SHEET METAL/FLASHING TO BE CORRECTED AT RAKE/HIP CLOSURES AT METAL ROOF.
3. ALL BASE FLASHING FLASHING TO BE REPAIRED/REFLASHED WITHIN REPAIR AREAS.
4. REPLACE ALL VTR/OVERFLOW FLASHINGS.
5. ANY WET/DAMAGED INSULATION IS TO BE REPLACED IF DISCOVERED DURING REPAIRS
6. SPLASH PANS TO BE INSTALLED AT ALL LOCATIONS WHERE DOWNSPOUTS DISCHARGE ONTO ADJACENT ROOF AREAS.
7. REMOVE AND REINSTALL EXISTING COPING IN LOCATIONS OF BASE FLASHING MEMBRANE REPAIRS.
8. ALL SEALANT JOINTS TO BE REPLACE AS NOTED ON MASONRY WALL. SEE DETAIL 7/R301.
9. "HUB" CONNECTORS TO BE REPLACED AT ROOF DRAIN BOWL LOCATIONS NOTED/CUT ON DRAWINGS.



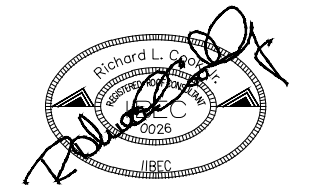
**REPAIR ROOF PLAN
(AREAS A, B, C, D, & E)**

PLAN NORTH

UNIVERSITY OF SOUTH CAROLINA-AIKEN
**USC AIKEN ETHERREDE
 ROOF REPAIRS**
 OWNER PROJECT NUMBER: H29-9550
 ADC PROJECT NUMBER: 19090
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA

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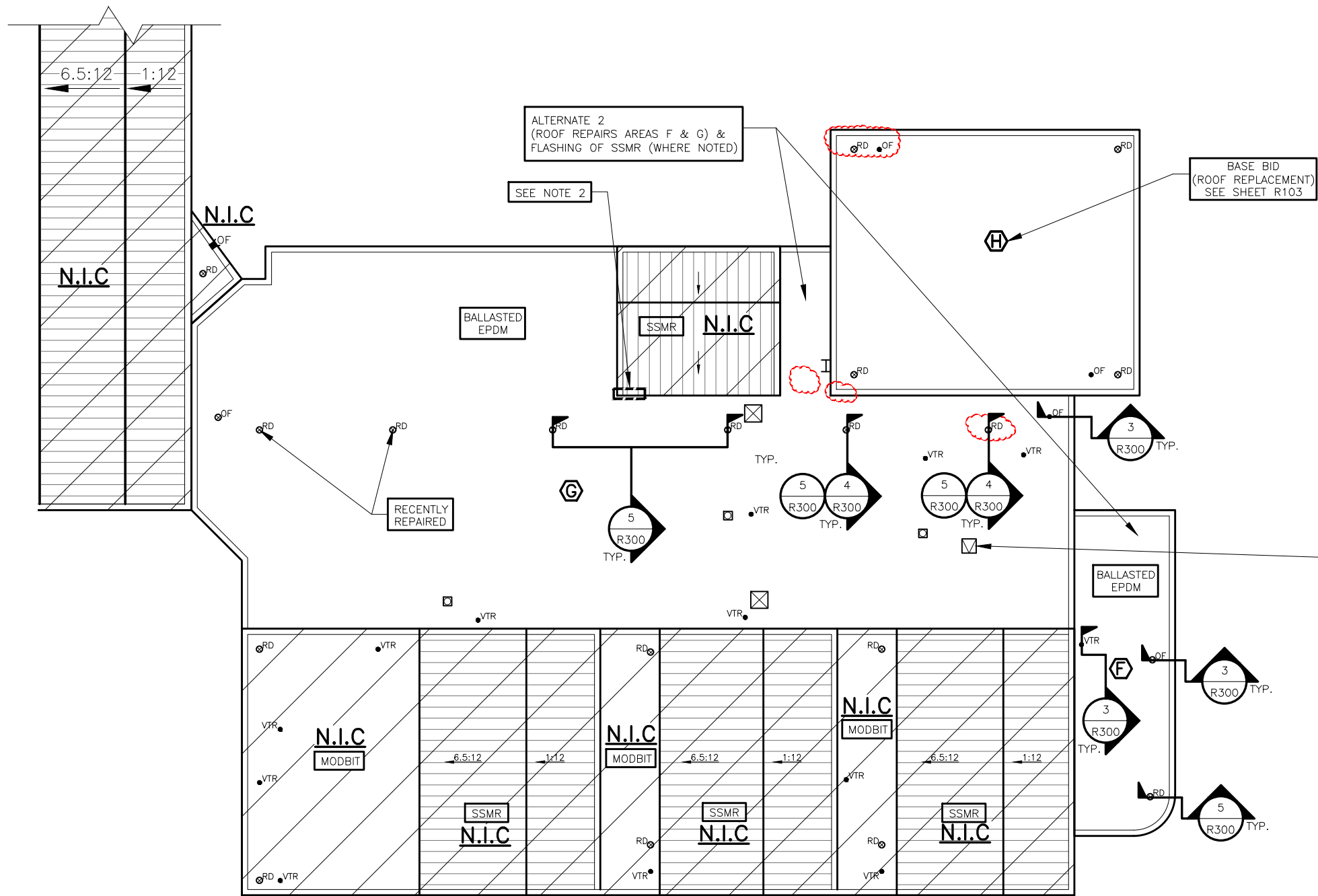
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**REPAIR
 ROOF PLAN**

R105
 SHEET 6 OF 10

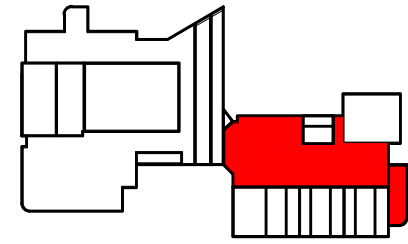
ADDENDUM 1 - ABBREVIATED SCOPE OF WORK

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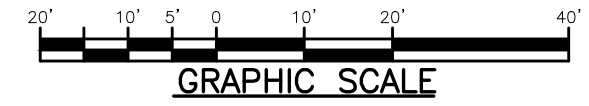


REPAIR NOTES

1. ALL DEBRIS/VEGETATION/EXCESS MATERIAL, ETC. TO BE REMOVED FROM ALL ROOF AREAS ALONG WITH REMOVAL OF DEBRIS FROM ROOF DRAINS, GUTTER SYSTEMS, ETC. AT ROOF CURBS, AT STACKS, AND CORNER LOCATIONS.
2. ALL LOOSE SHEET METAL/FLASHING TO BE CORRECTED AT RAKE/HIP CLOSURES AT METAL ROOF.
3. ALL BASE FLASHING FLASHING TO BE REPAIRED/REFLASHED WITHIN REPAIR AREAS.
4. REPLACE ALL VTR/OVERFLOW FLASHINGS.
5. ANY WET/DAMAGED INSULATION IS TO BE REPLACED IF DISCOVERED DURING REPAIRS
6. SPLASH PANS TO BE INSTALLED AT ALL LOCATIONS WHERE DOWNSPOUTS DISCHARGE ONTO ADJACENT ROOF AREAS.
7. REMOVE AND REINSTALL EXISTING COPING IN LOCATIONS OF BASE FLASHING MEMBRANE REPAIRS.
8. ALL SEALANT JOINTS TO BE REPLACE AS NOTED ON MASONRY WALL. SEE DETAIL 7/R301.
9. "HUB" CONNECTORS TO BE REPLACED AT ROOF DRAIN BOWL LOCATIONS NOTED/CUT ON DRAWINGS.

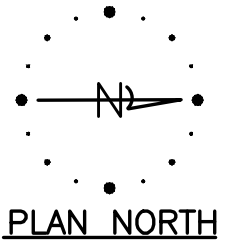


KEY PLAN



GRAPHIC SCALE

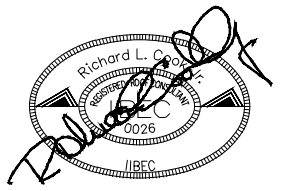
REPAIR ROOF PLAN (AREAS F & G)



UNIVERSITY OF SOUTH CAROLINA-AIKEN
USC AIKEN ETHERREDE ROOF REPAIRS
 OWNER PROJECT NUMBER: H29-950
 ADC PROJECT NUMBER: 19090
 340 SCHOLAR LOOP
 AIKEN, SOUTH CAROLINA

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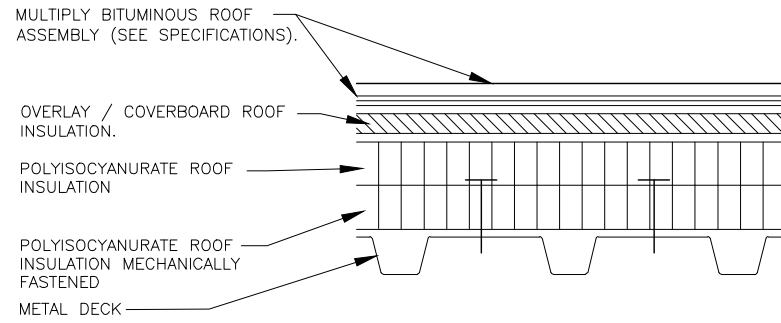
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REPAIR ROOF PLAN

R106
 SHEET 7 OF 10

ADDENDUM 1 - ABBREVIATED SCOPE OF WORK

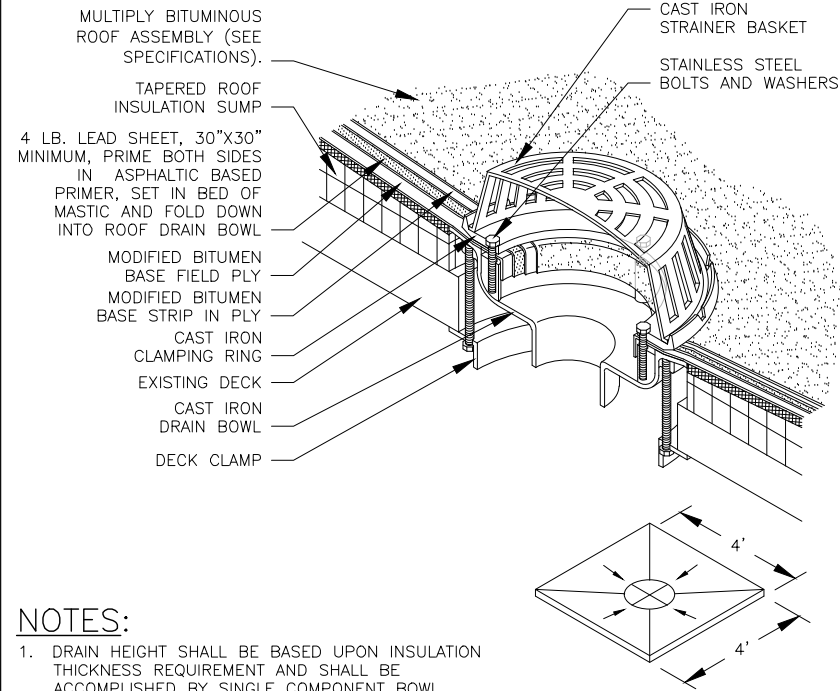
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NOTES:

- SEE SPECIFICATIONS FOR INSULATION ASSEMBLY AND ROOF SYSTEM

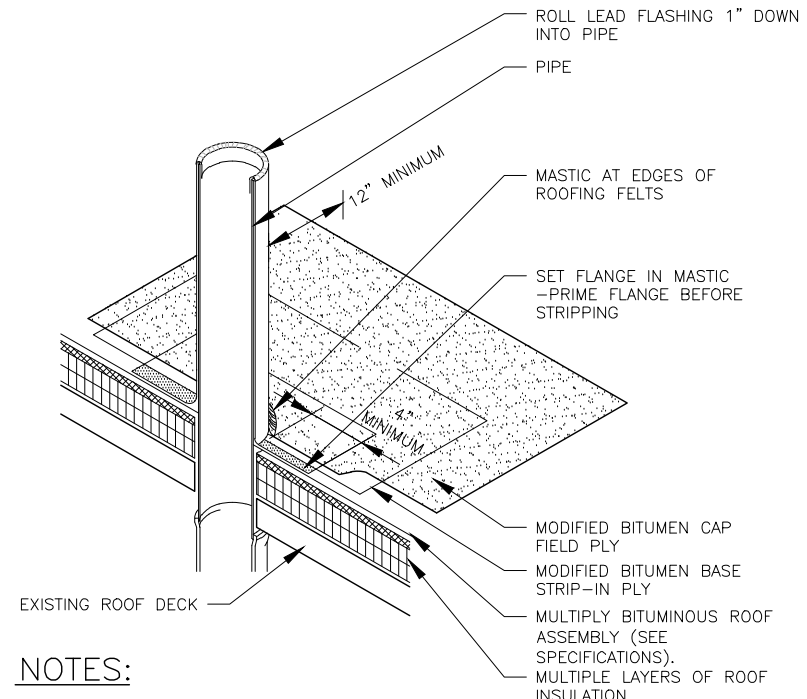
1 MODIFIED BITUMEN ROOF ASSEMBLY
R200 NOT TO SCALE (TYPICAL)



NOTES:

- DRAIN HEIGHT SHALL BE BASED UPON INSULATION THICKNESS REQUIREMENT AND SHALL BE ACCOMPLISHED BY SINGLE COMPONENT BOWL, EXTENSION BOWL, OR STATIC EXTENDER.

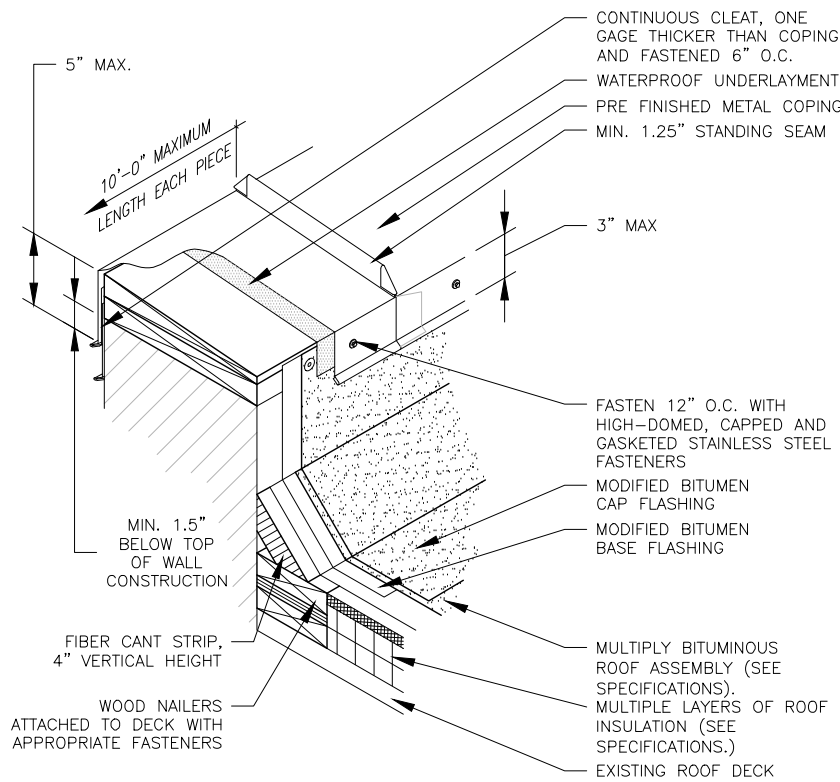
2 ROOF DRAIN
R200 NOT TO SCALE (TYPICAL)



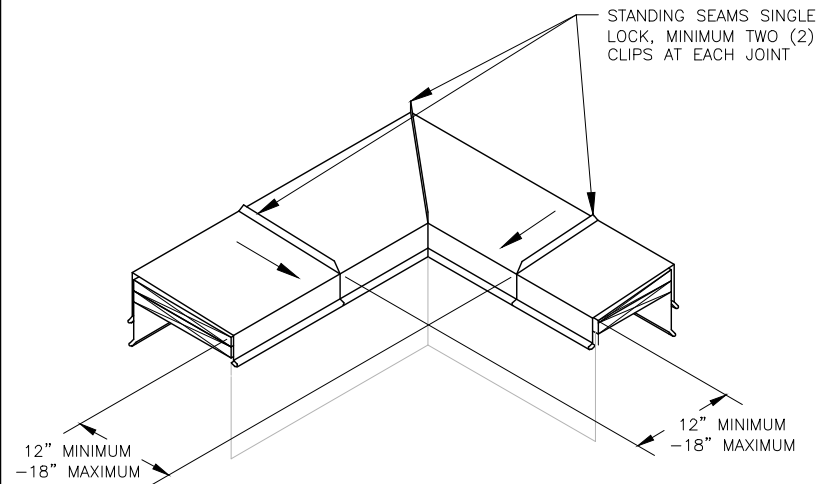
NOTES:

- SHEET LEAD MINIMUM OF 4 LB PER SQUARE FOOT.
- FLASHING DETAIL AT OVERFLOW PIPE TO BE PER DETAIL WITH EXISTING HEIGHTS TO REMAIN

3 PLUMBING VENT FLASHING
R200 NOT TO SCALE (TYPICAL)



4 BASE FLASHING AT PARAPET
R200 NOT TO SCALE (TYPICAL)



5 COPING PREFABRICATED CORNER
R200 NOT TO SCALE (TYPICAL)

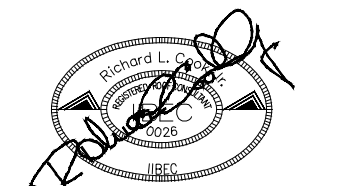
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6 NOT USED
R200

UNIVERSITY OF SOUTH CAROLINA-AIKEN
USC AIKEN ETHERREDE
ROOF REPAIRS
OWNER PROJECT NUMBER: H29-9550
ADC PROJECT NUMBER: 19090
340 SCHOLAR LOOP
AIKEN, SOUTH CAROLINA

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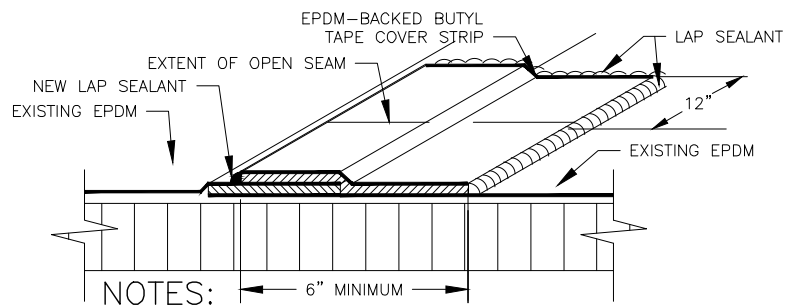


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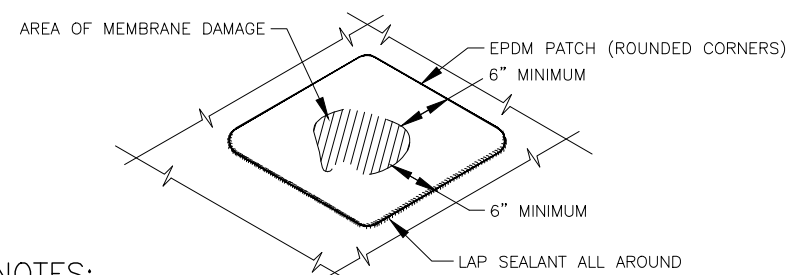
REPLACE DETAILS / SECTIONS

R200
SHEET 8 OF 10

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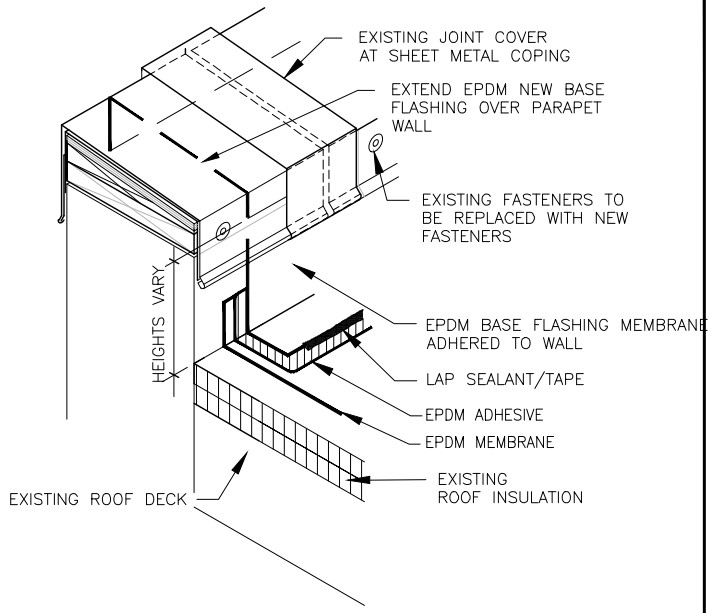


- NOTES:**
1. REMOVE LOOSE, DETERIORATED MATERIAL FROM SEAM AREA.
 2. CLEAN AND PRIME MINIMUM 6" EACH SIDE OF OPEN SEAM.
 3. CENTER COVER STRIP OVER SEAM.
 4. APPLY LAP SEALANT TO EDGES OF INSTALLED COVER STRIP.
 5. EXTEND SEAM REPAIR MINIMUM 12" BEYOND DAMAGE AREA.
 6. ROUND CUT CORNERS OF COVER STRIP.



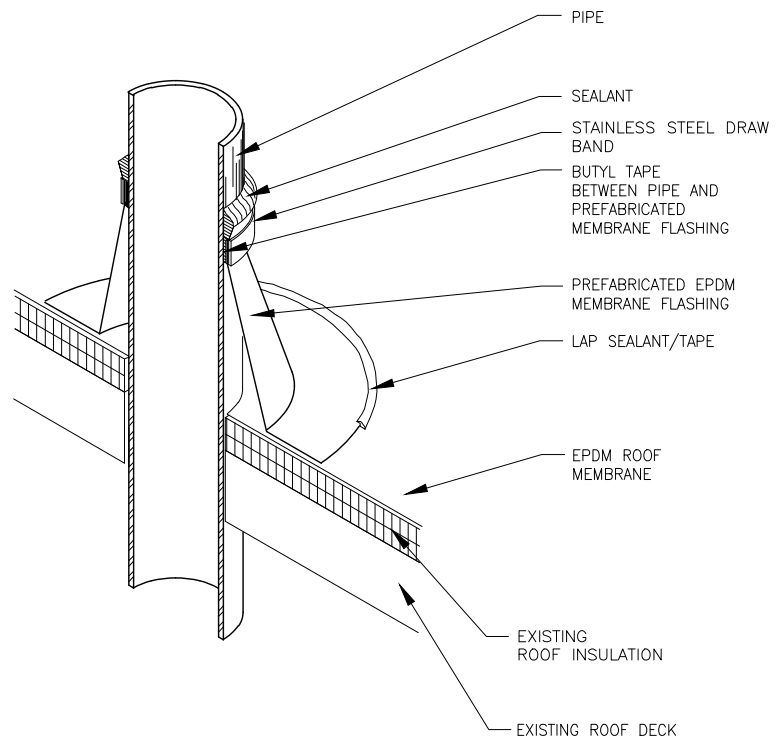
- NOTES:**
1. REMOVE LOOSE, DETERIORATED MATERIALS IN AREA OF PATCH.
 2. EXISTING MEMBRANE TO BE CLEANED AND PRIMED FOR MINIMUM 12" AROUND AREA OF DAMAGE.
 3. ROUND CORNERS OF PATCH MATERIALS. APPLY LAP SEALANT TO COMPLETED PATCH INSTALLATION.

1 STANDARD SEAM REPAIR (EPDM)
R300 NOT TO SCALE (TYPICAL)

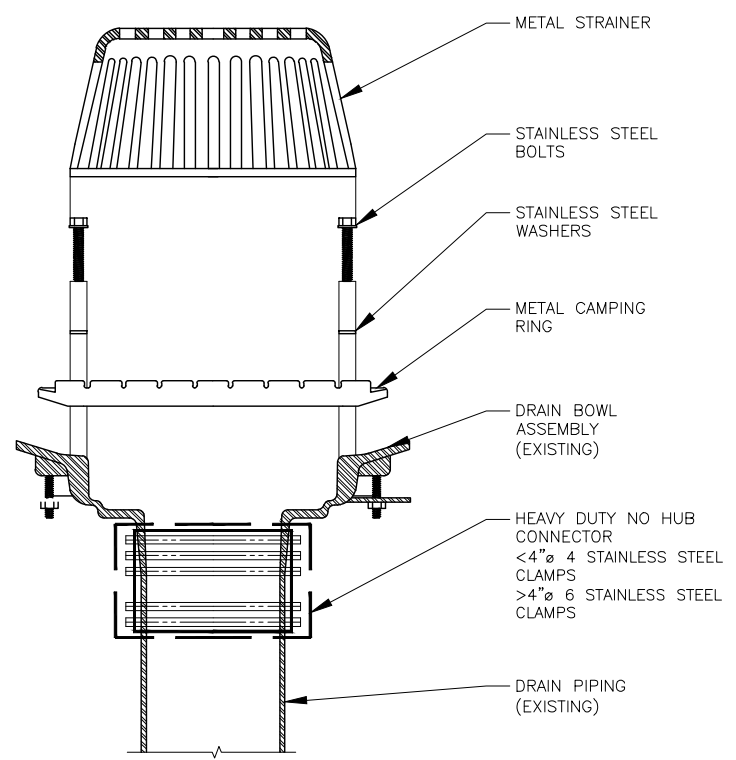


- NOTES:**
1. EXISTING COPING TO BE REMOVED AND REINSTALLED ON AREAS BASE FLASHING IS REPLACED.
 2. ANY WET/DAMAGED INSULATION IS TO BE REPLACED IF DISCOVERED DURING REPAIR.

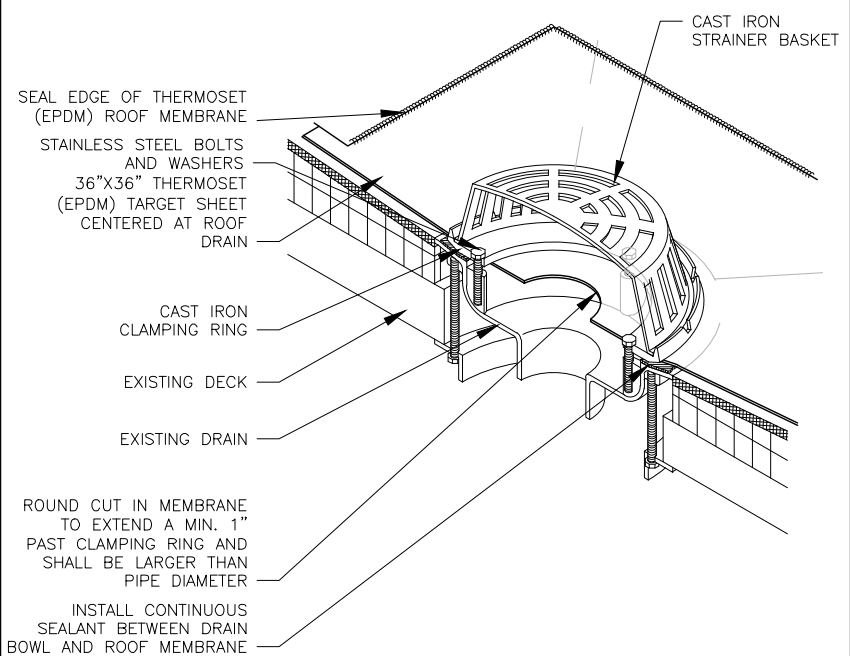
2 BASE FLASHING REPAIR
R300 NOT TO SCALE (TYPICAL)



3 OVERFLOW PIPE/VTR FLASHING REPAIR
R300 NOT TO SCALE (TYPICAL)



4 ROOF DRAIN ASSEMBLY REPAIR (ALTERNATE 3)
R300 NOT TO SCALE (TYPICAL)



- ROUND CUT IN MEMBRANE TO EXTEND A MIN. 1" PAST CLAMPING RING AND SHALL BE LARGER THAN PIPE DIAMETER
- INSTALL CONTINUOUS SEALANT BETWEEN DRAIN BOWL AND ROOF MEMBRANE
- 5** ROOF DRAIN (ALTERNATE 3)
R300 NOT TO SCALE (TYPICAL)

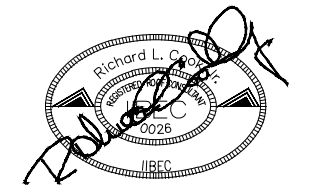
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6 NOT USED
R300

UNIVERSITY OF SOUTH CAROLINA-AIKEN
USC AIKEN ETHERREDE ROOF REPAIRS
OWNER PROJECT NUMBER: H29-9550
ADC PROJECT NUMBER: 19090
340 SCHOLAR LOOP
AIKEN, SOUTH CAROLINA

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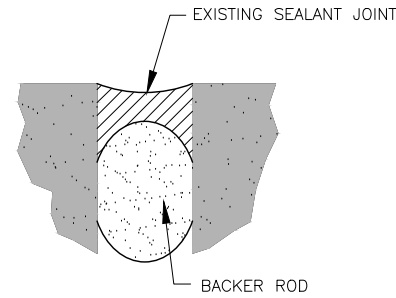


DATE:	05/15/2019
ADC PROJECT #:	19065
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CHECKED:	DAA
DRAWN:	IPO
REVISION:	07/31/2019

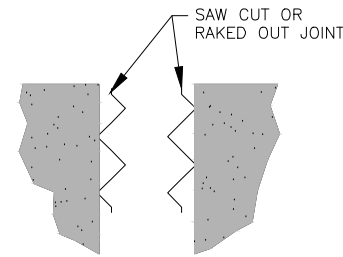
REPAIR DETAILS / SECTIONS

R300
SHEET 9 OF 10

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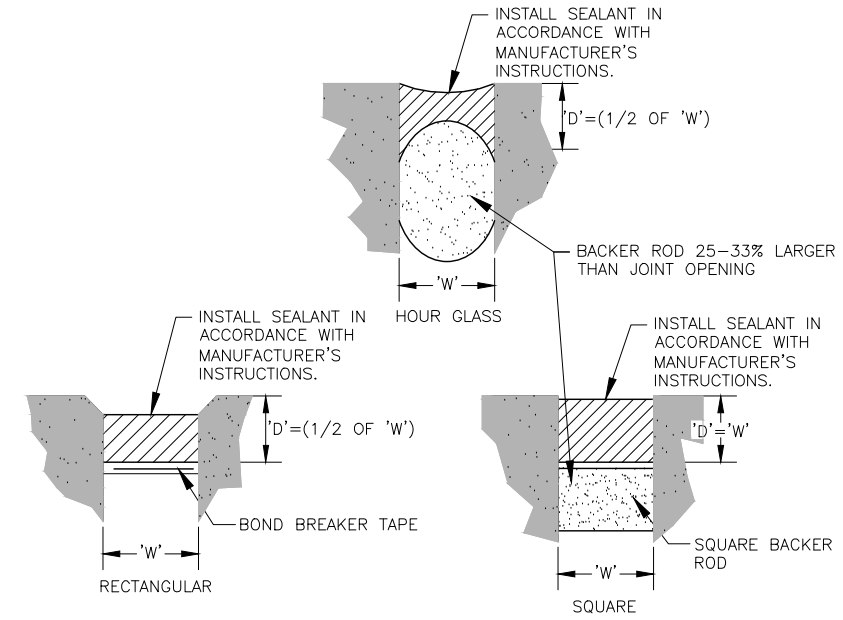
EXISTING STANDARD JOINT
STEP ONE



NOTES:

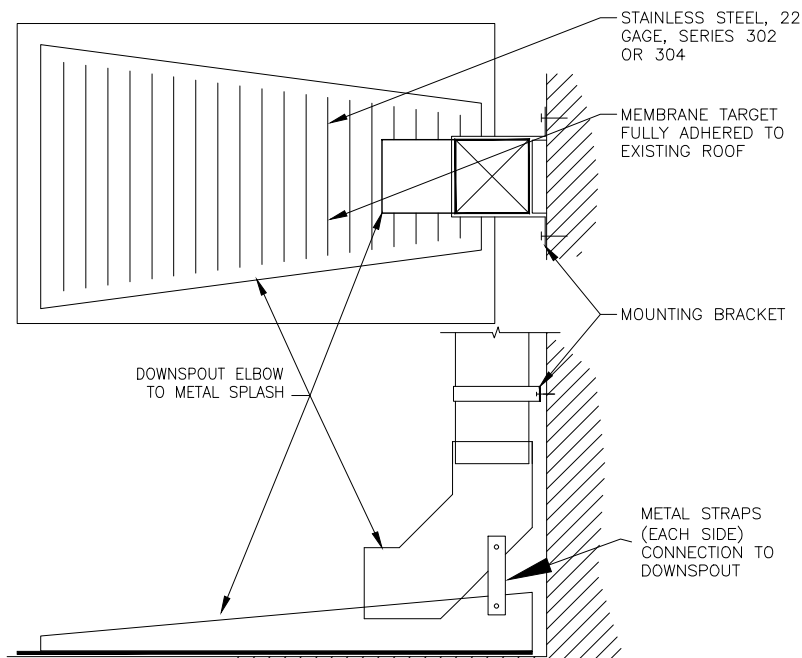
1. AS NOTED, FOR SPECIFIC LOCATIONS OF SHEET METAL COUNTERFLASHING ON DRAWINGS.
2. A SEALANT IS NO BETTER THAN THE SURFACE TO WHICH IT IS ATTACHED. PROPER PREPARATION IS CRITICAL.
3. THE MANUFACTURERS INSTRUCTIONS MUST BE CAREFULLY FOLLOWED TO OBTAIN PROPER SEALANT ADHESION.
4. ADHERE TO THE JOINT DESIGN AND APPLICATION REQUIREMENTS.

PREPARE STANDARD JOINT
STEP TWO



REPAIR, STANDARD JOINT OPTIONS
STEP THREE

7 STANDARD JOINT DETAIL
R301 NOT TO SCALE (TYPICAL)



NOTES:

1. PROVIDE METAL SPLASH PANS FOR DRAINAGE ONTO ROOF AREAS WHERE INDICATED ON NEW ROOF PLANS.

8 DOWNSPOUT W/ METAL SPLASH PAN DETAIL
R301 NOT TO SCALE (TYPICAL)

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9 NOT USED
R301

INTENTIONALLY LEFT BLANK

10 NOT USED
R301

UNIVERSITY OF SOUTH CAROLINA-AIKEN

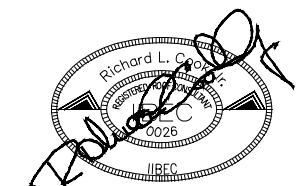
USC AIKEN ETHERREDE
ROOF REPAIRS

OWNER PROJECT NUMBER: H29-9560
ADC PROJECT NUMBER: 19090

340 SCHOLAR LOOP
AIKEN, SOUTH CAROLINA

ADC
ENGINEERING
1226 YEAMANS HALL ROAD
HANAHAN, SC 29410
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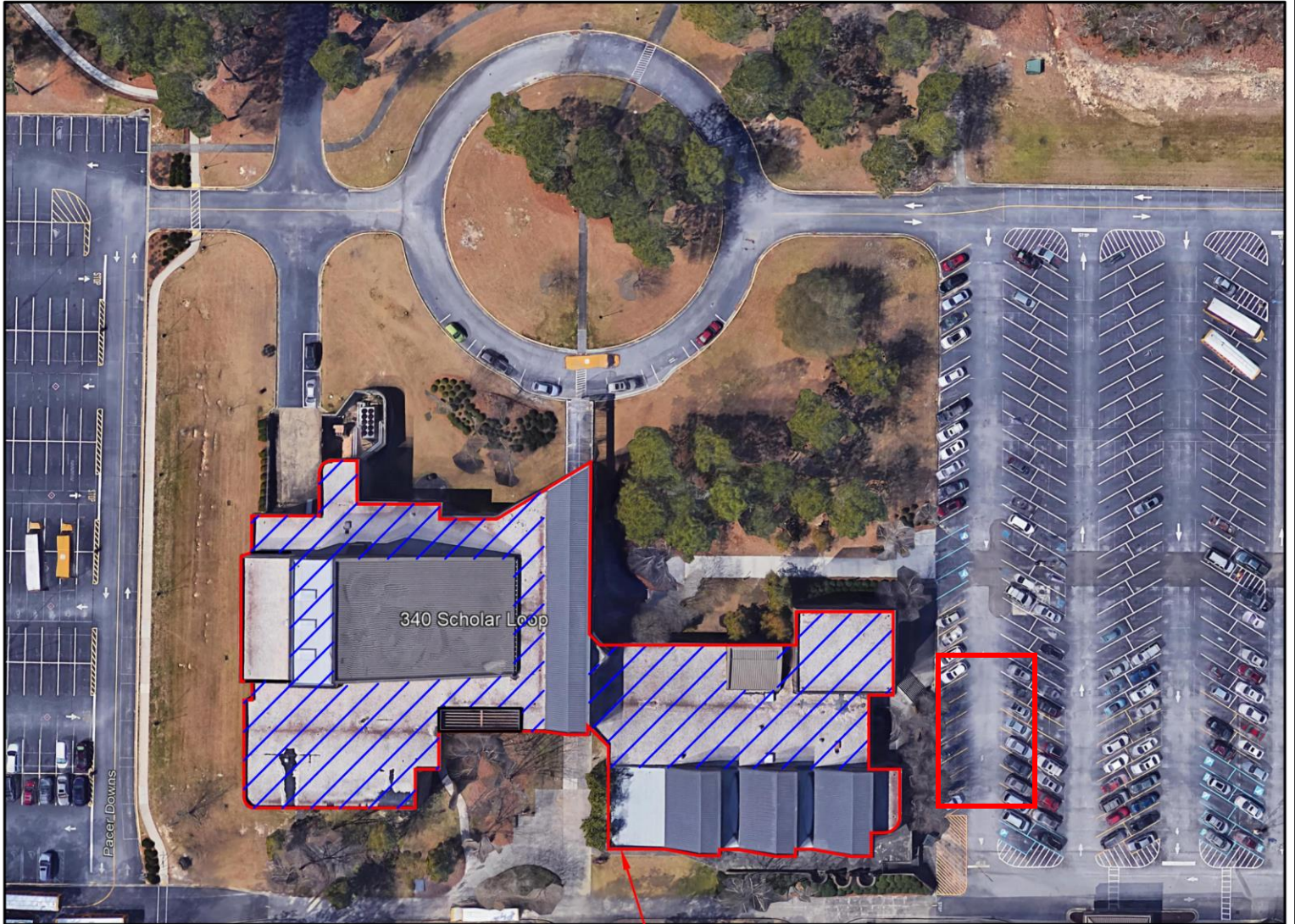
The
BUILDING ENVELOPE ENCLOSURE
Group
1226 YEAMANS HALL ROAD, STE C
HANAHAN, SC 29410



DATE:	05/15/2019
ADC PROJECT #:	19065
DESIGNED:	RLC
CHECKED:	DAA
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REPAIR DETAILS /
SECTIONS

R301
SHEET 10 OF 10




 = AREAS OF WORK

USC AIKEN ETHERREDGE
 340 SCHOLAR LOOP, AIKEN
 SOUTH CAROLINA 29801



ADDENDUM #1 - LAYDOWN PLAN		LD1
USC AIKEN ETHERREDGE ROOF REPAIRS		
DATE: 07/31/2019	AIKEN, SOUTH CAROLINA	REF: ADDENDUM#1
		ADC PROJECT #: 19065

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